

# UM URBAN MELBOURNE

<b>NEWS</b>	PROJECT DATABASE	VISUAL MELBOURNE	INDUSTRY HUB	FORUM	NEWSLETTER	ABOUT			
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News / Development / Nine High sets a new design benchmark



**PROJECT DATABASE SEARCH**

Building/Street Name

Suburb

Postcode

Project Status

Local Government Area

Architect

Developer

Builder

Results per page



## NINE HIGH SETS A NEW DESIGN BENCHMARK

THU, 09/07/2015 - 08:00 LAURENCE DRAGOMIR

Located at the juncture of Thornbury and Preston, and occupying the site address of 9 High Street from which the project derives its name, Nine High is an 8-storey development of 68 apartments by Kincaid Projects and Optimus Developments.

Sitting on the crest of Thornbury Hill with views down High Street, Nine High is a custom designed residential development that seeks to create a sense of place by embracing the rapidly gentrifying Thornbury community. According to the development team the location as a destination is critical to ensuring the project's success in addition to providing a quality product.

Those familiar with the rapidly changing face of the area will be aware of the distinct lack of design character shown by the majority of recent apartment developments completed nearby; something which Kincaid Projects and Optimus Developments have sought to address.

Nine High is a collaboration between Kincaid's in-house designer Joel Martin with Eades & Bergman's Wendy Bergman casting her eye over the interior specifications and layouts. Best known as the designer for some of Melbourne's newest hip eateries such as Kong or Meaball & Winebar, Wendy has sought to flood apartments with natural light via a series of atriums and lightwells which puncture the building's volume.

The project team envisions Nine High becoming a benchmark building for the area and an architectural statement with its refined angles expressed in contemporary materials such as off-form concrete, Modwood Soffits, Alucobond cladding and black and gold metallic screens. The building's facade is animated via these operable screens which gives the exterior a kinetic rather than static quality.

The introduction of vegetation to the facade is designed to bring with it a sense of colour and vibrancy and soften the structure while contributing to resident wellbeing.

*"Our design vision for Nine High was to create apartments where people can feel connected and develop their own sense of place. We've worked creatively with proportions, angles and materials, filled it with natural light and vegetation.*

*We believe our use of lush greenery, attractive materials and an elegant colour palette will raise the bar in Thornbury"*

— Joel Martin, Designer, Kincaid Projects.

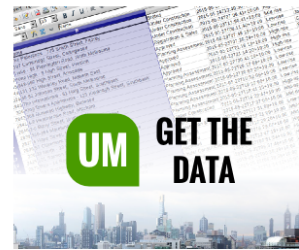
Designed to be both versatile and functional, Nine High's apartments feature open plan, free flowing living configurations, customised fittings, a feature double-sized pantry and extra large balconies for entertaining, plus garden areas an landscaping designed by Urban Edge. Additionally storage cages are located conveniently on the same floors as apartments rather than with the parking areas.



Nine High Interior. Image courtesy Kincaid Projects

Kitchens are arranged in a u-configuration and feature dual purpose benchtops which also act as dining tables reducing the requirement for a separate dining table. The apartments also feature other artisanal detailing in the form of custom-made metal pocket shelving within the bathrooms. Bento box-

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...inspired vanity tops and wine rack storage in kitchens.

The 68 apartments consist of one, two and three bedroom options with prices starting at \$299,000 for a one bedroom apartment to \$450,000 for two bedrooms which translates to a rate of \$7,500 per square metre. Two retail tenancies will be located at ground level taking advantage of the City of Darebin's streetscape improvement plans for High Street which sees the reduction in number of traffic lanes and provision of bicycle lanes in lieu.



High Street - Artists Impression  
 Note: Bicycle lanes shown blue for illustration purposes only. They would be installed to relevant standards and not coloured as indicated.

High Street improvement works. Courtesy City of Darebin.

### WHAT THEY SAY

We chose to develop *Nine High* in the heart of Thornbury-Preston as this is a vibrant part of Melbourne. With its proximity to the city, public transport and High Street's eclectic shops, this strip is full of enterprising young creatives that share our appreciation for this area.

We want to be a part of what's happening, and we're really excited by our vision for *Nine High*. It's not just another apartment building; it's a unique beautifully designed space that will be a joy to live in, and we're proud to put our names to it.

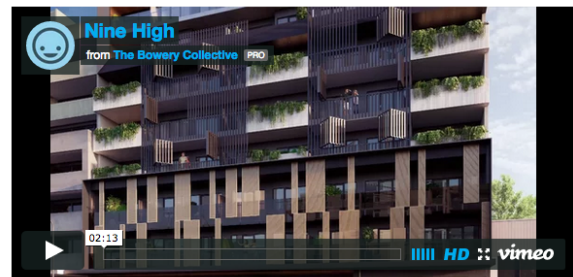
— Kris Burt, Director Kincaid Projects

*Nine High* is exactly the right match for us. A project that is not only tempting for the investor's eye, but more importantly a place we, ourselves, would also enjoy calling home. First of all, the location of the rapidly gentrifying Preston-Thornbury area is perfect. On my first site visit I was immediately amazed by the bustling, lively strip of High Street, full of little cafes and shops, just a stone's throw from *Nine High*.

Second, the building itself is outstanding, with an exterior that will attract the attention of any passer-by, and a beautiful interior design that will fulfill all expectations of even the most discerning buyers. *Nine High* is so much more than just a great project and we are extremely proud to be involved in its creation.

— Andrew Karpati, CEO Optimus Developments

The project has already been well received before its official launch. Onsite hoardings have generated a lot of interest from potential buyers with 60 inquiries being fielded and 10 apartments being reserved over a two day period.



Nine High from The Bowery Collective on Vimeo.

Tags: [Nine High](#) [Kincaid Projects](#) [Optimus Developments](#)

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### MELBOURNE'S TRAIN FLEET TO BE EXPANDED

• **Krzy Stoff:** New rolling stock with a complete redesign — No doubt it will be fraught with teething problems, as with every new series of trains in... 6 days 10 hours ago

### VIRGINIA PARK LOOMS LARGE ON THE HORIZON

• **Mblair:** These industrial type properties should be left to encourage future industries which can provide employment for local residents. The area is suitable for emerging high... 6 days 16 hours ago

### TWITTER

**Urban Melbourne** @UrbanMelbourne 21m  
 Nine High sets a new design benchmark [urban.melbourne/development/20...](#) #melbre  
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**Katharine Viner** @KathViner 9h  
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**Urban Melbourne** @UrbanMelbourne 18h  
 Approved by @rwnnemp 171-183 Ferrars Street, South Melbourne [urban.melbourne/projects/flishe...](#)  
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### INSTAGRAM

### DEVELOPMENT & PLANNING



### JONATHAN HALLINAN ON THE RISE OF BPM

WEDNESDAY, JULY 8, 2015 - 08:00

Interesting times abound for one of Melbourne's more flamboyant development firms, with BPM in the midst of a development push that sees no less than six apartment projects currently active on Urban Melbourne's Project Database. With a penchant for all things beautiful and exotic the firm which was founded by...

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### TRANSPORT & DESIGN



### MELBOURNE'S TRAIN FLEET TO BE EXPANDED

THURSDAY, JULY 2, 2015 - 00:00

On Monday 29th of June, the Minister of Public Transport, Jacinta Allan, and Minister for Industry, Lily D'Ambrosio, called for expressions of interest for the design, construction and maintenance of a 'next generation, high-capacity metro train' (HCMT) for Melbourne. Foreshadowed in the recent Andrews' Government budget, 37 new trains along...

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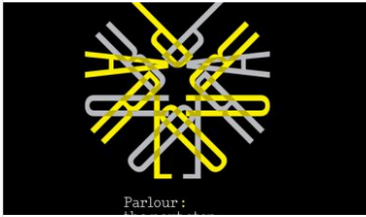
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- BKK's Simon Knott Talks Cirqua, Ivanhoe East
- ASSFMRI F Small Footprint Living Survey

- New Funding Approaches Come Knocking
- 260 La Trobe Shapes As Melbourne's Next Big Tower
- Wesley Place Seeks To Bring New Life To Lonsdale Street

Just have to:

- Assemble Urban Design Living Strategy
- St. Albans, Blackburn And Mitcham Set To See More Level Crossing Removals
- The Northern Light Rail Link

POLICY, CULTURE & OPINION



**PARLOUR: THE NEXT STEP**  
THURSDAY, JULY 2, 2015 - 12:00

Following on from the success of Urban Creative's Kickstarter campaign ( Homes for Homeless Youth ), Urban Melbourne would like to draw attention to another notable crowd funding campaign: Parlour's 'The Next Step' via Pozible . A strong proponent and advocate for equity within the architecture industry and the adoption...

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- The Napthine Government's Planning Tax Legacy

VISUAL MELBOURNE



**THORNBURY AND PRESTON LIGHT UP FOR THE DAREBIN PROJECTION FESTIVAL**  
FRIDAY, JUNE 26, 2015 - 08:00

The junction marking Thornbury and Preston is set to light up this evening, celebrating a significant development set to happen in the area. A joint partnership between Creative Suburbs and the Darebin City Council, the festival is aimed to light up the area and switch on the minds of residents...

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- White Night 2015
- Hosier Lane In The Shadows Of 2015

SUSTAINABILITY & ENVIRONMENT



**FOOTSCRAY'S LITTLE SAIGON FINDS ITS PHOENIX**  
WEDNESDAY, MAY 13, 2015 - 07:30

Peruse the Urban Melbourne project database and Footscray has no fewer than 20 residential listings covering roughly 30 separate buildings yet to be built. There's little doubt that Footscray will be an apartment hotspot in the near future, but what of the associated infrastructure and amenity that should always accompany...

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